



Project Description

Youth Study Center Expansion: Address: 1100A Milton Street
New Orleans, La 70122

The site is defined by Interstate 610 on the South, Bayou St John on the West, Milton St to the north, and Encampment Street to the East. Prior to recent development, the site housed the Youth Study Center, and the Imperial Arms Housing Complex. The site is accessible via Imperial Drive. Originally this street had created a loop around which the housing units were located.

The total area of the Site is 14.82 Acres (645,760 SF) and contains the recently completed Juvenile Justice Center (JJC), and the new Youth Study Center (YSC). These functions are separate, but linked by a shared central plant, and circulation corridor. Total area of the current facilities is 137,196 SF. Access to the site continues to be via Imperial Drive. The previous loop drive was split and now creates a drive through from Encampment to Milton St., as well as a rear entrance to the facility. Parking spaces are available for 244 plus 9 accessible parking.

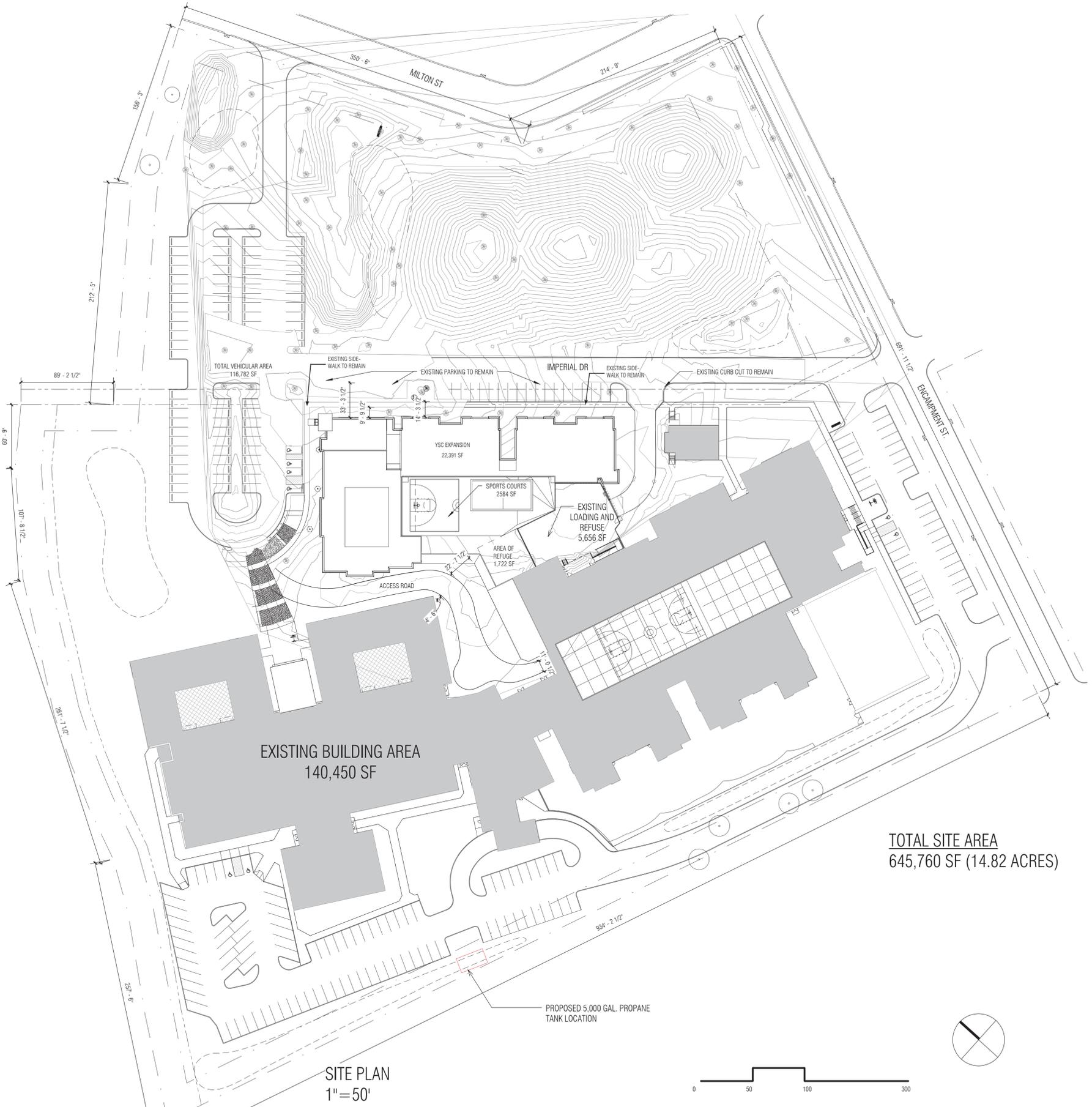
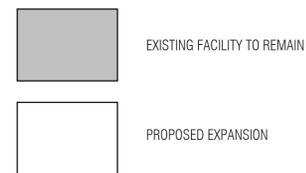
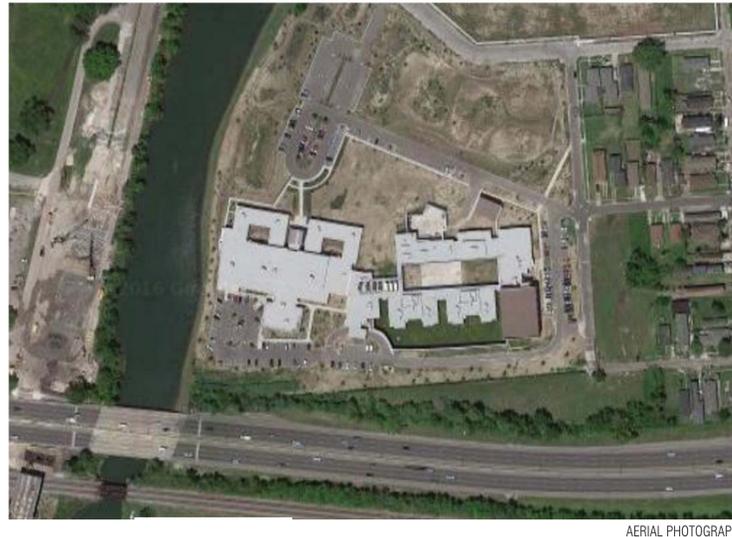
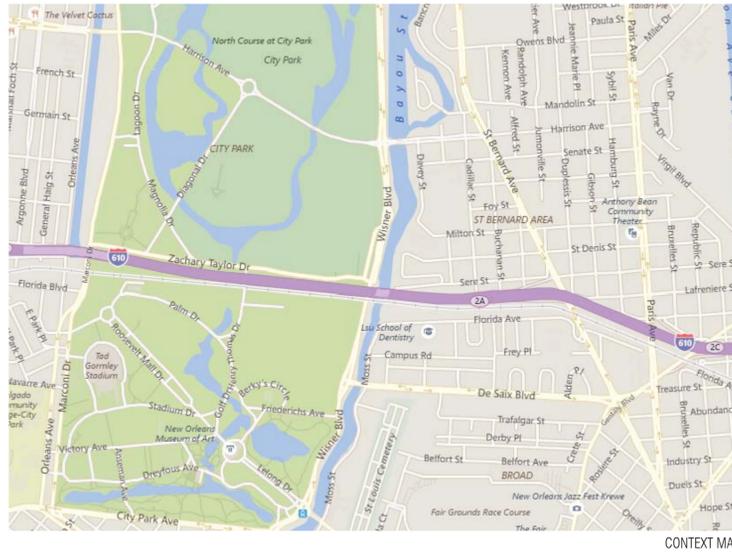
The existing Youth Study Center includes: a Sally Port and assessment areas, sleeping quarters for 40 juveniles, full production kitchen, dining, medical exam rooms with pharmaceutical dispensary, educational facilities for 40 students, administration space, a receiving and visitation center, outdoor and indoor recreation area, loading dock and storage warehouse, laundry, and storage areas.

The proposed expansion shall increase the total footprint by 24,000 SF and increase capacity through the addition of 28-32 sleeping quarters requiring approximately 9,200 SF. This increase in capacity is required due to changes in the Louisiana juvenile detention laws which raise the age for juvenile detention from under 17 to under 18 year olds. With the addition of these occupants, several key areas shall require expansion as well. An additional 7,400 SF educational facility will be added, the existing kitchen will be augmented with additional cooking equipment, more storage, an additional dining area and serving line occupying an additional 1,000 SF. A small medical office and exam room, approximately 500 SF will be added and an additional 12,000 SF visitation area has been developed to serve this new population. In addition to the interior space, the facility will have an adjacent exterior recreation yard, with basketball and volleyball areas, and will serve as a secure area of refuge in case of emergency and entrance from the original facility by way of a covered exterior walkway.

To the greatest extent possible, existing services shall be shared. Shared program elements include the Sally Port, and ingress processing areas. Administration areas, Information Technologies central server room, Safety and Control office, Parking, Loading Dock and warehouse. Entry to the expanded facility will be through the central corridor, through the existing central courtyard and through a new secure opening adjacent to the current Dining area.

Due to the wide variety of detainees expected at the facility, the design philosophy is one of safety and security through separation. The existing facility, will serve the more youthful and less serious offenders, while the addition will be designed to separate the older and more violent residents. In terms of sleeping areas, the expanded facility will increase safety and security through the use of smaller housing modules (8 per module). The segregation of educational facilities, will allow more tailored teaching, by allowing a junior high vs high school separation. Separate dining facilities is necessary to allow for efficient serving of meals in the allowed time.

During pre-design efforts, studies concluded that total expansion might require up to 56 additional sleeping quarters. The current design, has incorporated such a future need, by presigning vertical expansion into the project. Enhanced foundations and services shall be provided or presigned such that the facility could add a second floor to housing modules. Stairs and an elevator would be added. The educational facility has been designed to accommodate this future need as has the kitchen and dining modifications.





PANORAMA # 1 - WEST SITE VIEW SOUTHEAST



PANORAMA # 2 - CENTER SITE - VIEW SOUTH



PANORAMA # 3- CENTER SITE -VIEW EAST



PANORAMA # 4- EAST SITE - VIEW SOUTHWEST



YOUTH STUDY CENTER PUBLIC ENTRY / STORE FRONT



JUVENILE JUSTICE CENTER PUBLIC ENTRY / STORE FRONT / METAL PANEL SYSTEM



CONFERENCE CENTER MATERIAL STUDY



CONFERENCE CENTER - MATERIAL STUDY



TYPICAL MASONRY WALL / NON SECURITY WINDOW / DOWNSPOUT



MASONRY LINTEL



ARCHITECTURAL ARTICULATION



PRE-CAST WINDOWSILL



MASONRY SILL



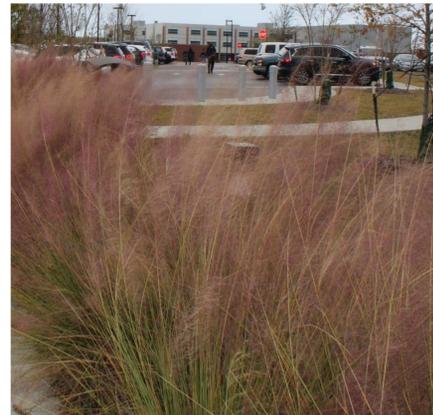
RECTANGULAR SECURITY WINDOW_ CONCRETE MASONRY BLOCKS



SQUARE SECURITY WINDOW



RETENTION POND / LANDSCAPING



PLANTINGS 2



WALL MOUNTED LIGHTING



BOLLARD LIGHTING



LIGHT POLE



BIO-SWALE - PLANTINGS



PLANTINGS 3



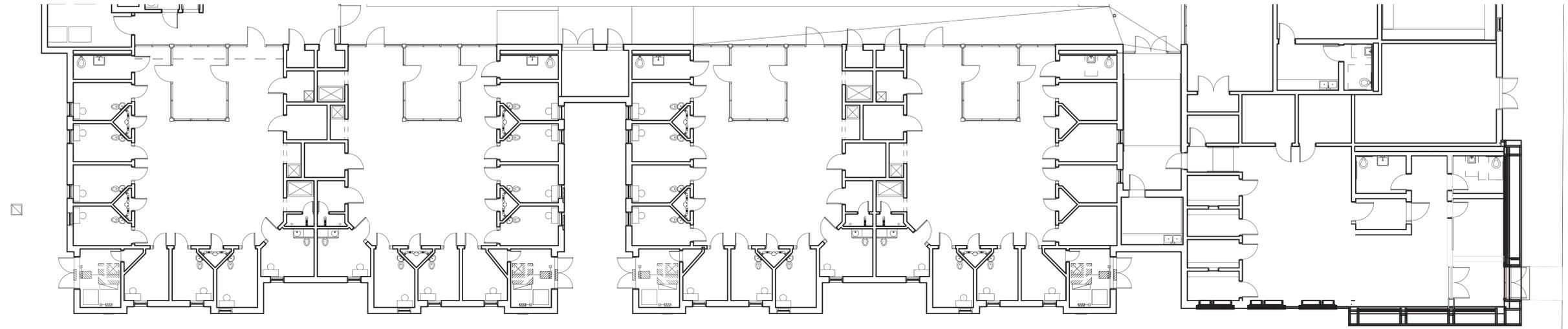
LANDSCAPE LIGHTING



BOLLARD



LIGHT POLE



NORTH REFERENCE PLAN - NTS



NORTH ELEVATION - NTS



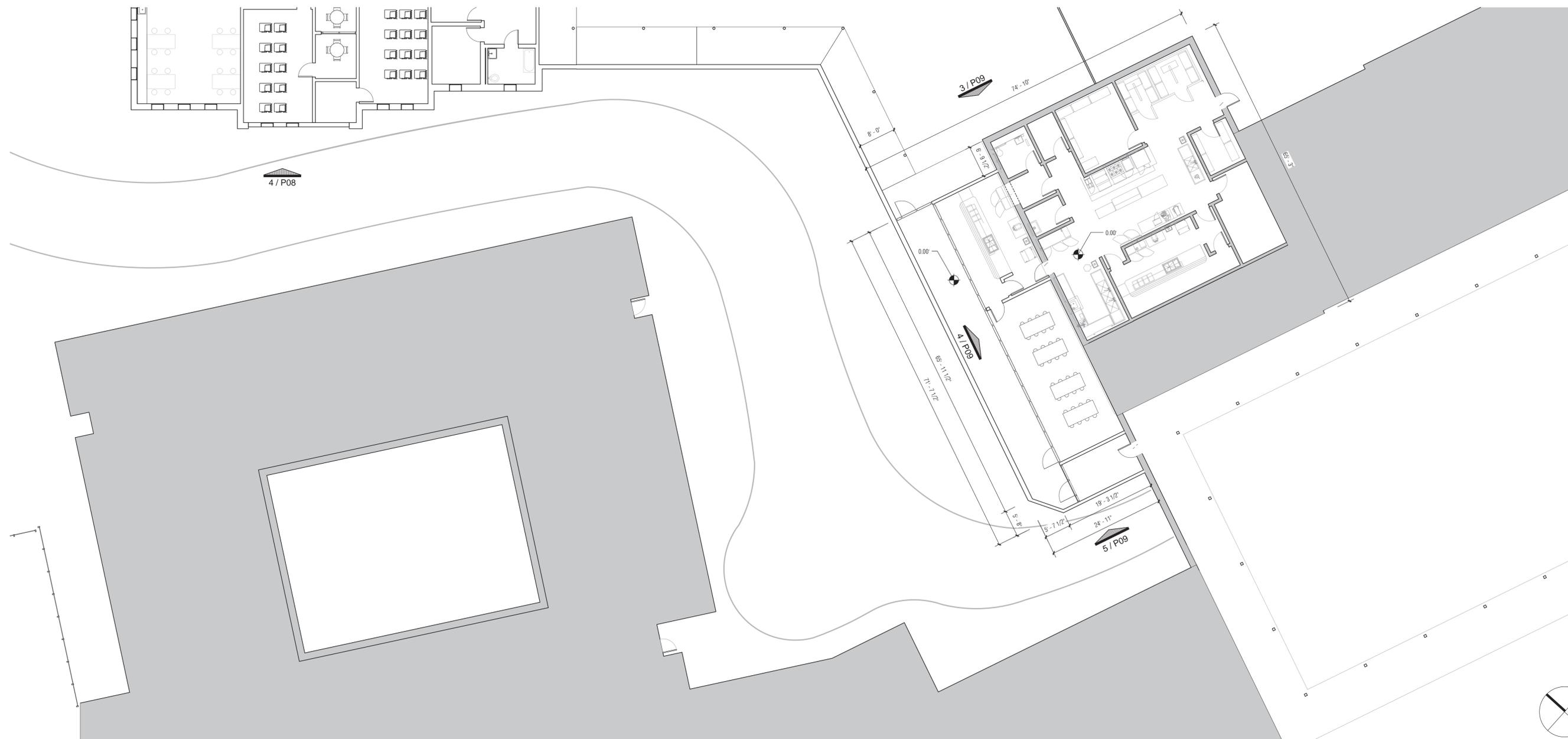
PERSPECTIVE



LEGEND

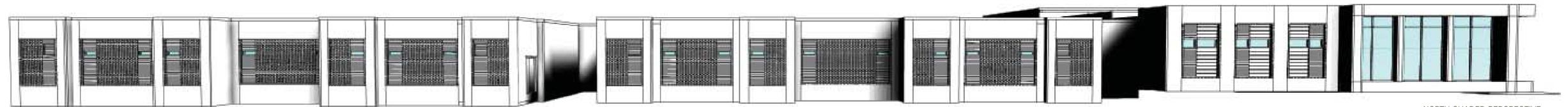
EXISTING WALLS

NEW WALLS





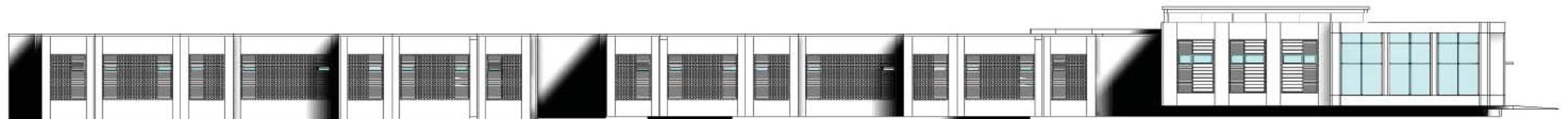
NORTH MATERIAL RENDERED PERSPECTIVE



NORTH SHADED PERSPECTIVE



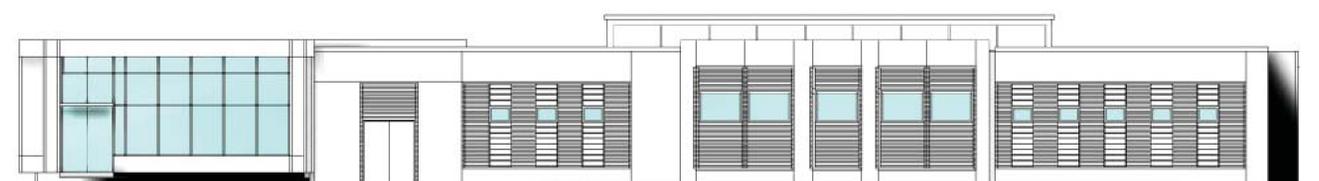
NORTH MATERIAL RENDERED ELEVATION



NORTH SHADED ELEVATION



EAST MATERIAL RENDERED ELEVATION



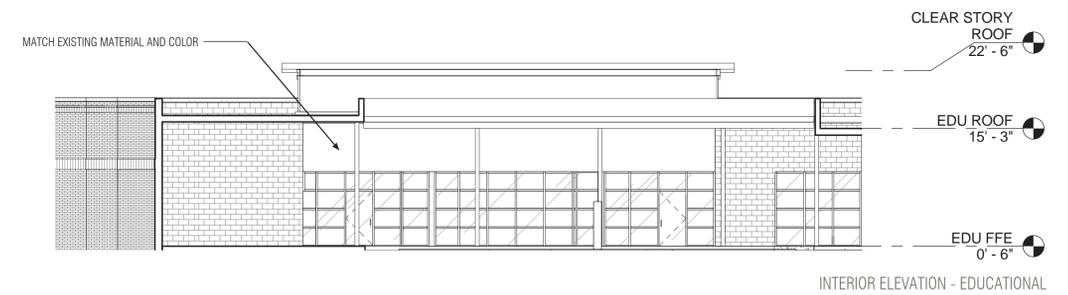
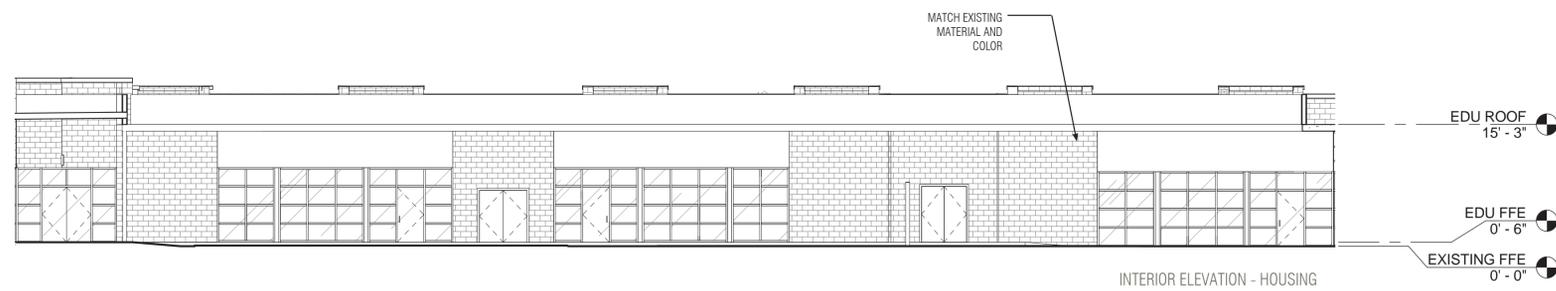
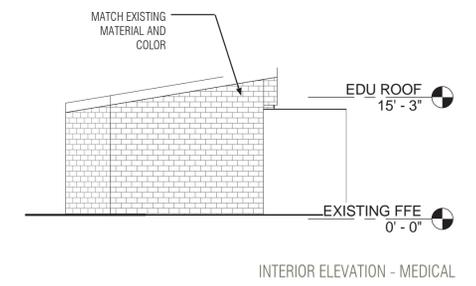
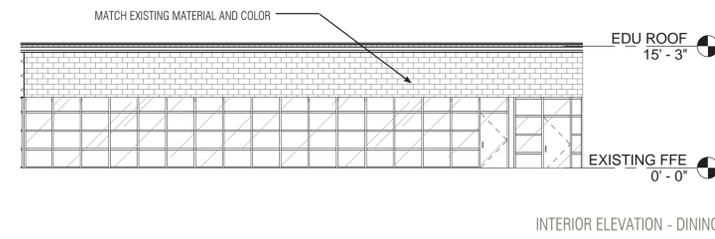
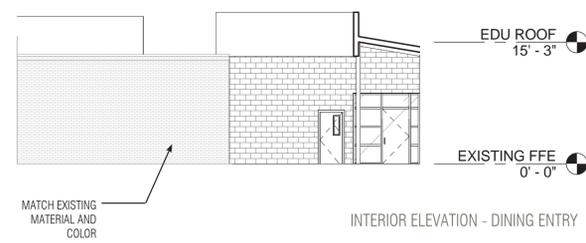
EAST SHADED ELEVATION



EXISTING INTERIOR COURTYARD



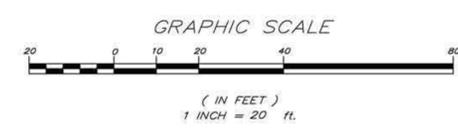
EXISTING INTERIOR COURTYARD



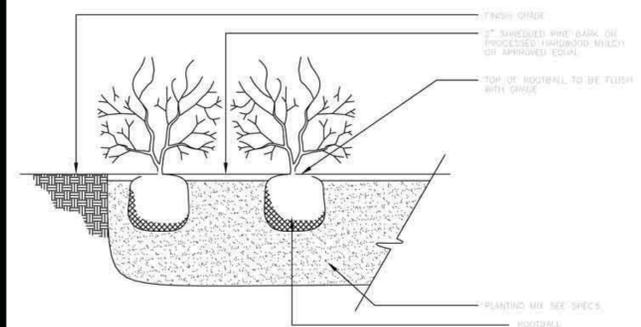




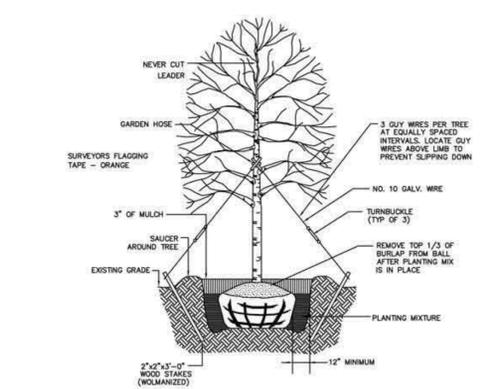
PRELIMINARY LANDSCAPE PLAN



PLANT LIST				
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES, SHRUBS, AND GROUNDCOVERS				
QN	1	Quercus nuttallii	NUTTALL OAK	FIELD GROWN, 12'-14' HT., 2.5" MIN., 5' CROTCH HT. MIN.
EH	21	Ilex X attenuata 'Eagleston'	'Eagleston' Holly	FIELD GROWN, 8'-10' HT., 1.5" MIN., SINGLE TRUNK TREE FORM
MG	3	Magnolia grandiflora 'TMGH' PP#11612	ALTA MAGNOLIA	FIELD GROWN, 8'-10' HT., 2.5" MIN., FULL TO THE GROUND
MV	11	magnolia virginiana 'Australis'	Sweetbay Magnolia	30 GAL., 8'-10' HT., 1.5" MIN., MULTI-TRUNK, NO BRANCHING HEIGHT REQUIREMENT
TD	1	Taxodium distichum	Bald Cypress	30 GAL., 12'-14' HT., 3" MIN., 5' Crotch Height Min.
DY	45	Ilex vomitoria 'Nana'	Dwarf Yaupon	3 GAL., 18" HT. MIN.
IP	280	Iris pseudacorus	Yellow Flag Iris	1 Gallon
DV	64	Dietes vegata	African Iris	3 Gallon
CE	113	Colocasia esculenta	Elephant Ear	1 Gallon
MC	73	Muhlenbergia capillaris	Purple Muhly Grass	3 Gallon



A GROUND COVER/SHRUB PLANTING NOT TO SCALE



B TREE PLANTING DETAIL NOT TO SCALE



